

**PB# 77-55**

**Helmer Cronin Construction**

Halmer Chen Construction  
Interway International  
77-55

Approved 5/17/77  
Filed with Town Clerk  
5/12/77

GENERAL RECEIPT

3254

Town of New Windsor, N. Y.

May 12, 1977

Received of Helmer - Goring Coast \$100.00

One hundred and 00/100 Dollars

For Sub - Division Fee

DISTRIBUTION:

FUND	CODE	AMOUNT
100.00		
Check		

77-55  
BY Charlotte Mancantonio

TITLE

Date \_\_\_\_\_

Application No. 77-55

APPLICATION FOR SUBDIVISION APPROVAL

Town of New Windsor, 555 Union Avenue, Orange County, N.Y.

Tel: 565-8308

Application is hereby made for subdivision of lands situated in the Town of New Windsor and described as follows:

1. Name of subdivision Gateway International Park
2. Location Route 207 and Temple Hill Road
3. Acreage 65.03 4. Number of lots ✓ 5. Zone \_\_\_\_\_
6. Name & address of subdivider William F. Helmer,  
Grey Beech Lane, Pomona, New York 10970
7. Name & address of record owner of land William F. Helmer  
Grey Beech Lane, Pomona, New York 10970
8. Present and intended uses Planned Industrial (Present Use)  
Planned Industrial (Proposed)

The undersigned applies for subdivision approval of the above described lands under the rules and procedure of the "Land Subdivision Regulations of the Town of New Windsor" as duly authorized by the Town Board of New Windsor, New York. Upon approval of the Preliminary Layout of said subdivision the applicant agrees to install such utilities as are required and to complete the streets as finally approved by the Planning Board or in lieu of this to post a performance bond as set forth and provided in the "Land Subdivision Regulations". Copies of the Preliminary Layout are hereby attached.

Compliance with requirements shall be the sole responsibility of the applicant or his representative and it is suggested a copy of the Subdivision Regulations be obtained to avoid rejection of the plans. Seven (7) copies of the plans are required.

Fees are due and payable upon submission of the preliminary plans. All checks are to be made payable to the Town of New Windsor.

Signature of applicant William F. Helmer

Adopted 10/5/70





OFFICE OF THE PLANNING BOARD

TOWN OF NEW WINDSOR

555 Union Avenue  
New Windsor, New York 12550  
(914) 565-8808

May 23, 1977

Foreign Trade Zone Board

Washington, D. C.

Gentlemen:

At the May 11, 1977 Meeting of the New Windsor Planning Board an approval was granted for a two (2) lot Subdivision to the Lands of Helmer Cronin Construction Company for a Trade Zone Site which the maps indicate.

Very truly yours,

HENRY VAN LEEUWEN  
Chairman


HVL/sh

MEMO

TO: ALL MEMBERS OF THE TOWN BOARD & SUPERVISOR PETRO  
FROM: MICHAEL BABCOCK, BUILDING INSPECTOR  
DATE: SEPTEMBER 29, 1987  
RE: SUB-DIVISION MAP #7755

THIS MEMO IS IN REQUEST OF SUB-DIVISION  
MAP #7755 KNOWN AS HELMER CRONIN FROM  
THE TOWN CLERK'S OFFICE.

VERY TRULY YOURS,

  
MICHAEL BABCOCK  
BUILDING INSPECTOR

MB:md

attachment 4

WATER, SEWER, HIGHWAY REVIEW FORM:

The maps and plans for the Site Approval GATEWAY INTERNATIONAL PARK  
Subdivision \_\_\_\_\_ as submitted by Witfield and Remick  
for the building or subdivision of \_\_\_\_\_  
has been reviewed by me and is approved XXXX d:3 approved \_\_\_\_\_

If disapproved, please list reason.

SEE ATTACHED SHEET

HIGHWAY SUPERINTENDENT \_\_\_\_\_

WATER SUPERINTENDENT \_\_\_\_\_

Lyman H. Marten  
SANITARY SUPERINTENDENT

April 26, 1977  
DATE



**COOPER-JARRETT INC.**

MOTOR FREIGHT • 23 South Essex Avenue, Orange, New Jersey 07051 • 201 675-0800

Stone Castle Road, Rock Tavern, New York 12575

April 7, 1977

Helmer-Cronin Construction Corp.  
c/o Foreign Trade Development  
Company of Orange County, Inc.  
P.O. Box 6147  
Stewart Airport  
Newburgh, New York 12550

Re: Proposed Industrial Park

Gentlemen:

As the manager of a trucking terminal responsible for the upkeep and maintenance of trucks and trailers, I am in favor of roads without curbs. I have seen too many instances of tires being ruined by a driver inadvertently hitting the curb either through error in judgment or by being forced due to lack of room. The absence of curbs removes the possibility of damage to equipment.

Very truly yours,

Ronald Judson  
Terminal Manager

Received 7/5/77  
NEW YORK STATE  
DEPARTMENT OF TRANSPORTATION

Region 8 Office: 4 Burnett Boulevard, Poughkeepsie, New York 12603

July 1, 1977

Mr. Donald Witfield  
35 Wisner Avenue  
Newburgh, New York 12550

RE: Access Drive  
Route 207 (SH 153)  
Gateway International Park  
Town of New Windsor  
Orange County

Dear Mr. Witfield:

Pursuant to your meeting in this office on 4/27/77, and the submission of the site plan with your letter of 5/11/77 to the Town Planning Board, we have reviewed your proposal for the industrial park to be located along the south side of Route 207 in the vicinity of the Temple Hill Road intersection and now offer the following comments.

We are agreeable to two points of access for the subdivision and since they will not be connected internally, we will discuss each location separately.

1. Temple Hill Road (Easterly Access) - Although the frontage along Temple Hill Road was recently reconstructed by the State as part of Contract D95114, the work undertaken in that area was required to improve the intersection of Route 207 and Temple Hill Road. Consequently, when the project is officially accepted by the Department, Temple Hill Road will become the jurisdiction of the Orange County Highway Department. Therefore, we would suggest that you submit plans to them for approval of the Temple Hill Road access. Although we are deferring to the County at this location, we offer the following comments which we noted as the result of our study:

Under the State's project, a vehicle loop detector was placed in the pavement at a 300+ foot offset from the signalized intersection. To insure proper operation of the signal, we suggest that the new drive be located east of the detector.

Due to the acreage of the parcel which this drive will serve, consideration should be given to providing a left turn storage lane to accommodate west-bound traffic on Temple Hill Road destined for your site. The State's project widened Temple Hill Road to increase the capacity potential at the signalized intersection and it would be unfortunate to allow a major traffic generator to develop along the widening lane without proper adjustments.

Mr. Donald Witfield  
July 1, 1977  
Page 2

2. Route 207 (Westerly Access) - The original location proposed for the Foreign Trade Zone was unacceptable due to the restricted sight line (350+ feet) to the east created by the vertical alignment of Route 207. However, the new location, as depicted on the revised plan sheet dated 5/11/77, would be acceptable. But, since this roadway will be a private access for the industrial development, it should be designed in accordance with the Department's Policy and Standards for Entrances to State Highways. Although the 24+ foot width with abutting 5+ foot shoulders may meet Town requirements, we recommend that a 30+ foot roadway with proper poured-in-place concrete curb delineation be provided as shown on the plan, in red. This section should be extended to the right-of-way line which contradicts General Note #6.

Also, as we discussed, Route 207 presently "backs up" beyond the proposed access point during peak periods due to the signal control at Union Avenue. Consequently, it may be necessary to prohibit left turns to and from the new driveway if a problem develops after the Foreign Trade Zone is operating on its regular schedule. The Department will keep this area under surveillance after construction and if deemed necessary, the appropriate regulatory action will be taken. It would appear that this capacity problem could be improved or corrected by widening the easterly approach of Route 207 to Union Avenue. However, the Department has no plans for such an improvement, but since it would be beneficial for your clients, you should consider such a widening to alleviate problems in the vicinity of your proposed driveway.

We trust we have clarified the Department's position in this matter and as requested, we are forwarding a copy to the Town Planning Board so that they will be aware of our involvement. We suggest that you review the final plans with the local Residency Office since they will be responsible for the pavement details and the drainage controls.

Very truly yours,

M. J. Mignogna  
Regional Traffic Engineer

By:   
J. W. Wickeri  
Asst. Civil Engineer

MJM/JWW/tjh

cc: Town of New Windsor Planning Board, Union Avenue, New Windsor, N.Y. 12550  
Orange County Highway Dept., Route 17M, Goshen, New York  
J. Strapec, Resident Engineer

MEMORANDUM

TO: New Windsor Planning Board  
FROM: Fire Inspector  
SUBJECT: Gateway International Park  
DATE: 26 April 1977

Please be advised that I have reviewed the site plan of the  
aforementioned, and the hydrant spacing and water main size are in  
accordance with the local Fire Prevention Code.

Respectfully,

  
Robert F. Rodgers

### Approval for Gateway International Park

Must provide proper bonds and inspection fees to insure the completion and operation of the sewer line.

Contractor must make contact with Engineers, appointed by the Town Board- Mr. Cuomo- for the purpose of making inspections of the main sewer line as it is constructed.

Sewer lines and manholes must be of size and material that will conform with the Town of New Windsor requirements. Submitted map does indicate the size of the sewer lines to be installed.

Sewer line must be tested for infiltration and or exfiltration or by air test prior to any lateral connection. Final inspection for infiltration and or exfiltration or air test shall be made with the Town Engineer on hand to approve or disapprove the test.

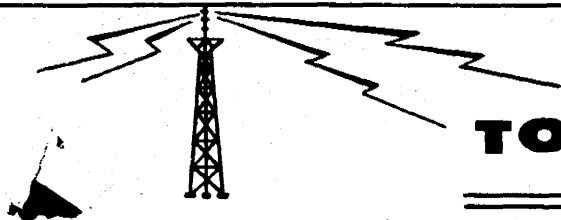
The Engineer shall notify the Sanitation Department of its decision before and sanitary permits are issued for service hook-ups.

No C.O. should be issued until laterals are inspected and approved by this Department.

Each lateral installed shall be inspected by this department and if approved recorded on the proper permit and filed with this department and the Town Clerk

The pumping station shall be constructed satisfactory to the Town of New Windsor.





**TOSE, INC.**



100% TWO-WAY RADIO-CONTROLLED SERVICE

Post Office Box 2544  
MacArthur Ave. & Rt. 32  
Newburgh, New York 12550

Mr. Peter Rosenstein, Executive Director  
Foreign Trade Development Company  
of Orange County, Inc.  
P.O. Box 6147, Stewart Airport  
Newburgh, New York 12550

Dear Mr. Rosenstein

This is in regard to your request on the proposed industrial park on Route 207 near Newburgh, New York.

It is the opinion of Tose, Inc. that swails would be more preferable than curbs on the proposed road sites. Concerned drivers have expressed the feeling that swails would prove to be more beneficial to them in vehicle handling and maneuverability.

I trust that this letter meets with your approval. If I can be of further assistance in this matter, please feel free to contact me.

Yours truly

Tom Saccoman  
Newburgh Terminal Sales  
15 April 1977

REFERENCE
ENGINEERING FEES

HELMER-CRONIN CONSTR. INC.

27 Central Drive  
STONY POINT, N. Y. 10980

4626

50-866  
213

THE SUM 75 DOLLARS

DOLLARS  
NET CHECK

PAY

DATE
5/12/77

75.00
-------

TO THE ORDER OF TOWN OF NEW WINDSOR

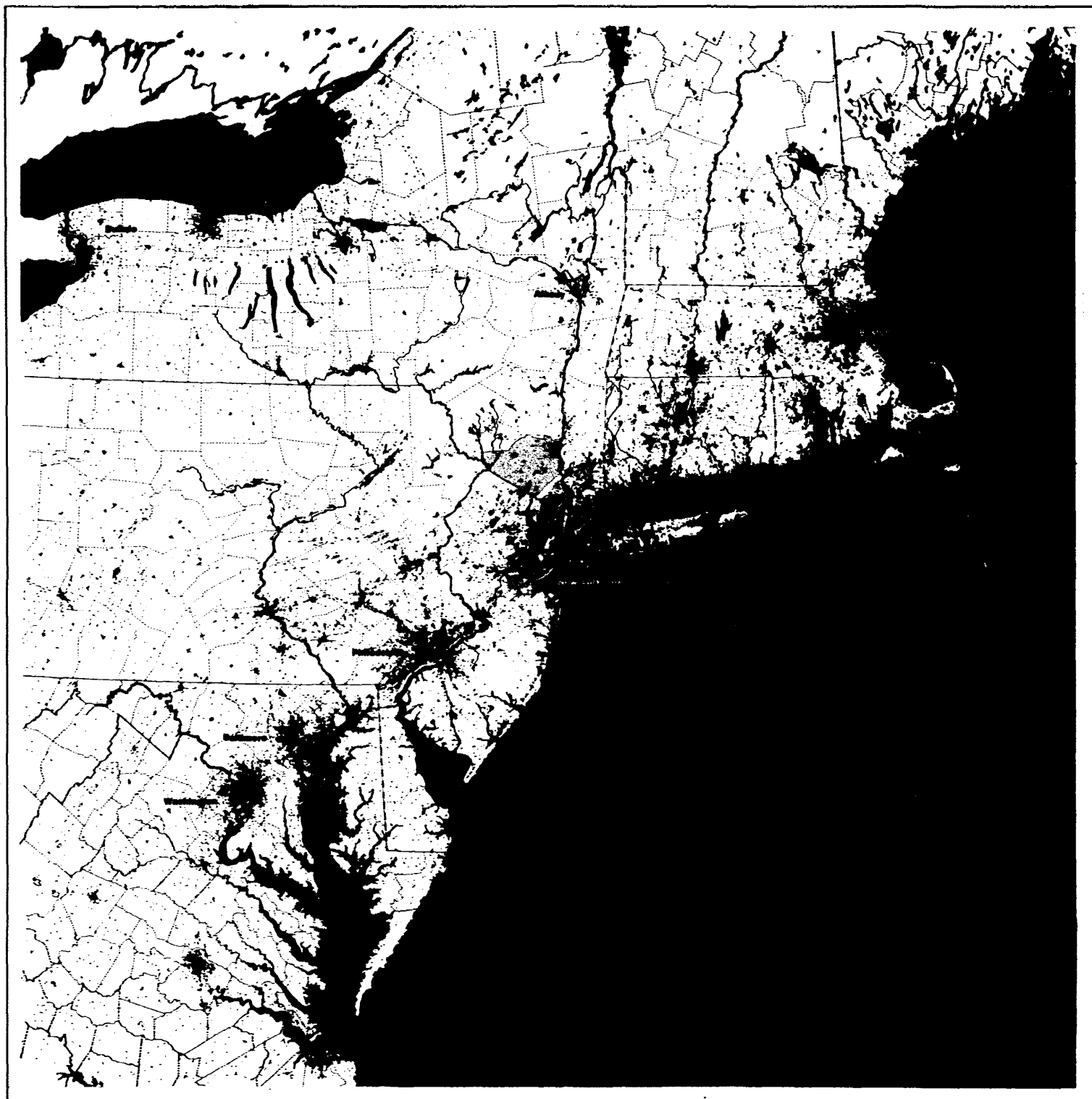
HELMER-CRONIN CONSTR. INC.

*William F. Helmer*

BANKERS TRUST OF ROCKLAND COUNTY, N.Y. - STONY POINT OFFICE

⑆0213⑈0866⑆ 21 126 9⑈

**Orange County  
is the place to be.**



△ North

0 100 200 miles

Map courtesy of Mid-Hudson Pattern for Progress, Inc.

■ Population Density

**astride the Boston-Washington corridor,  
main line of the country's business, banking, trade  
and government...**

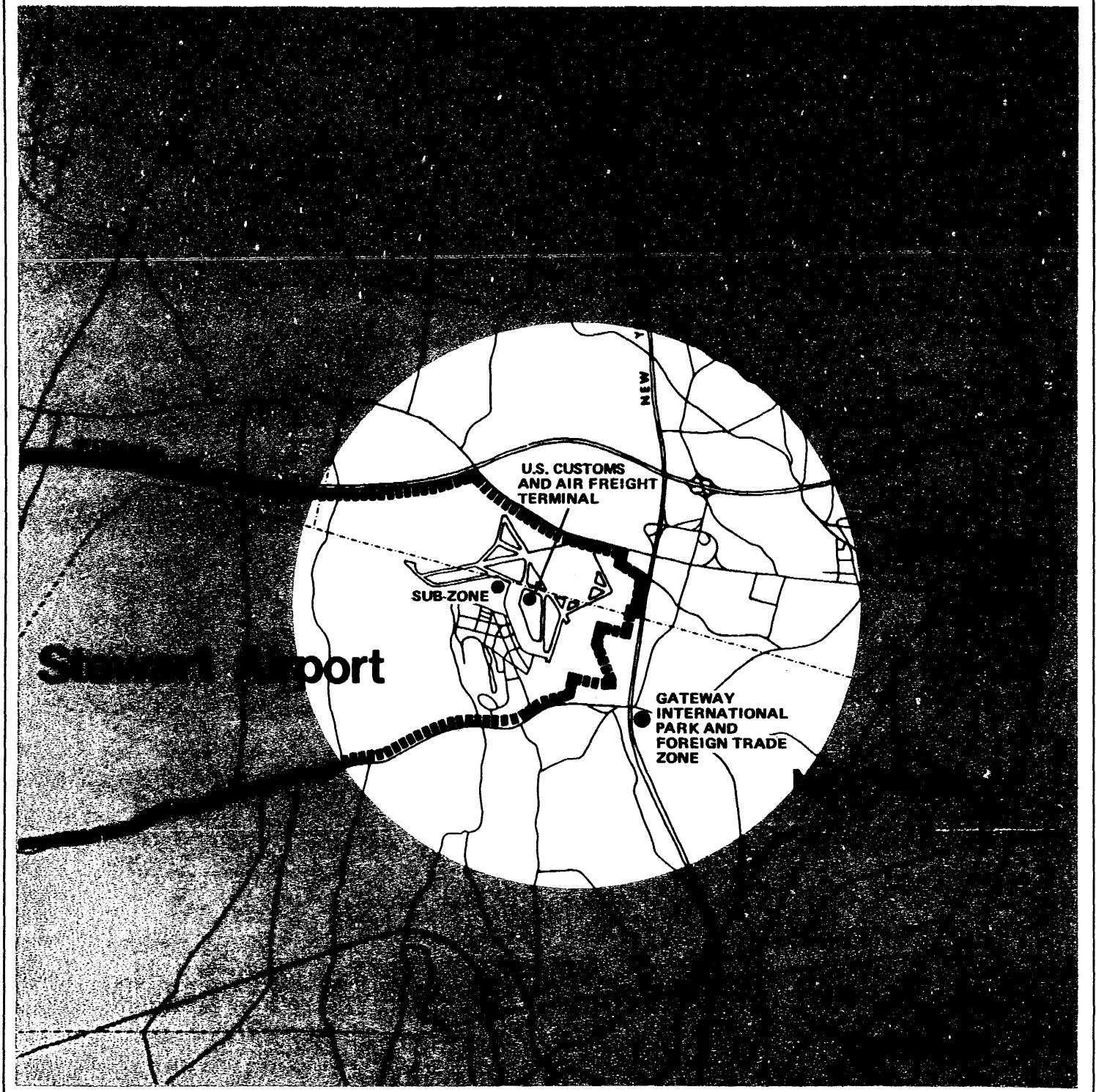


North 0 25 50 miles

Map Courtesy of Regional Plan Associations

■ Population Density

**with all the advantages of being close to N.Y.C.,  
none of the disadvantages of being within it ...**



North 0 1 2 miles

Map, Courtesy of Trans Plan, Inc.

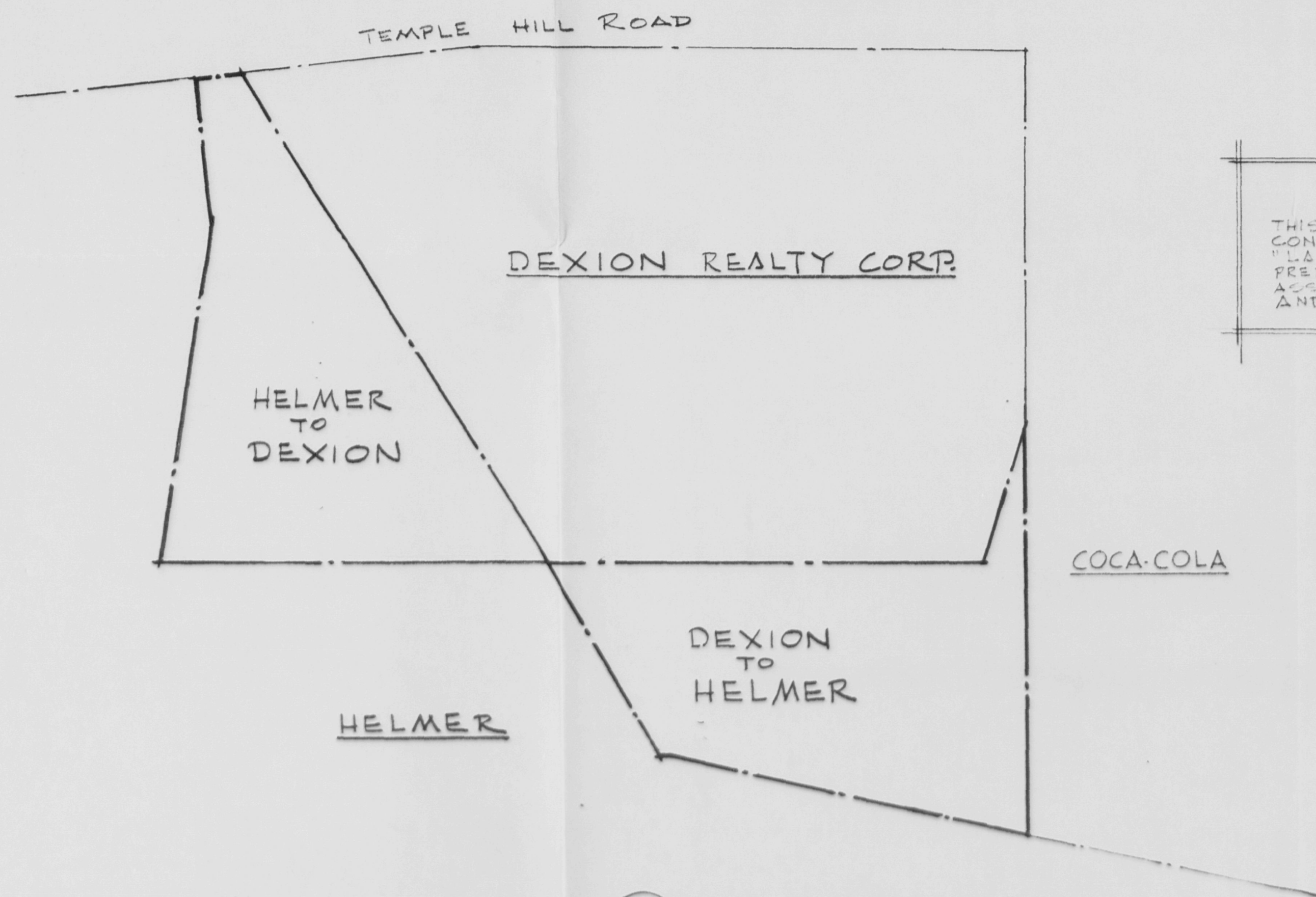
and the whole world just down the road,  
river or runway.



**TRADE DEVELOPMENT COMPANY  
OF ORANGE COUNTY, INC.**

P.O. Box 6147    Stewart Airport    Newburgh, N.Y.  
(914) 564-7700    12550

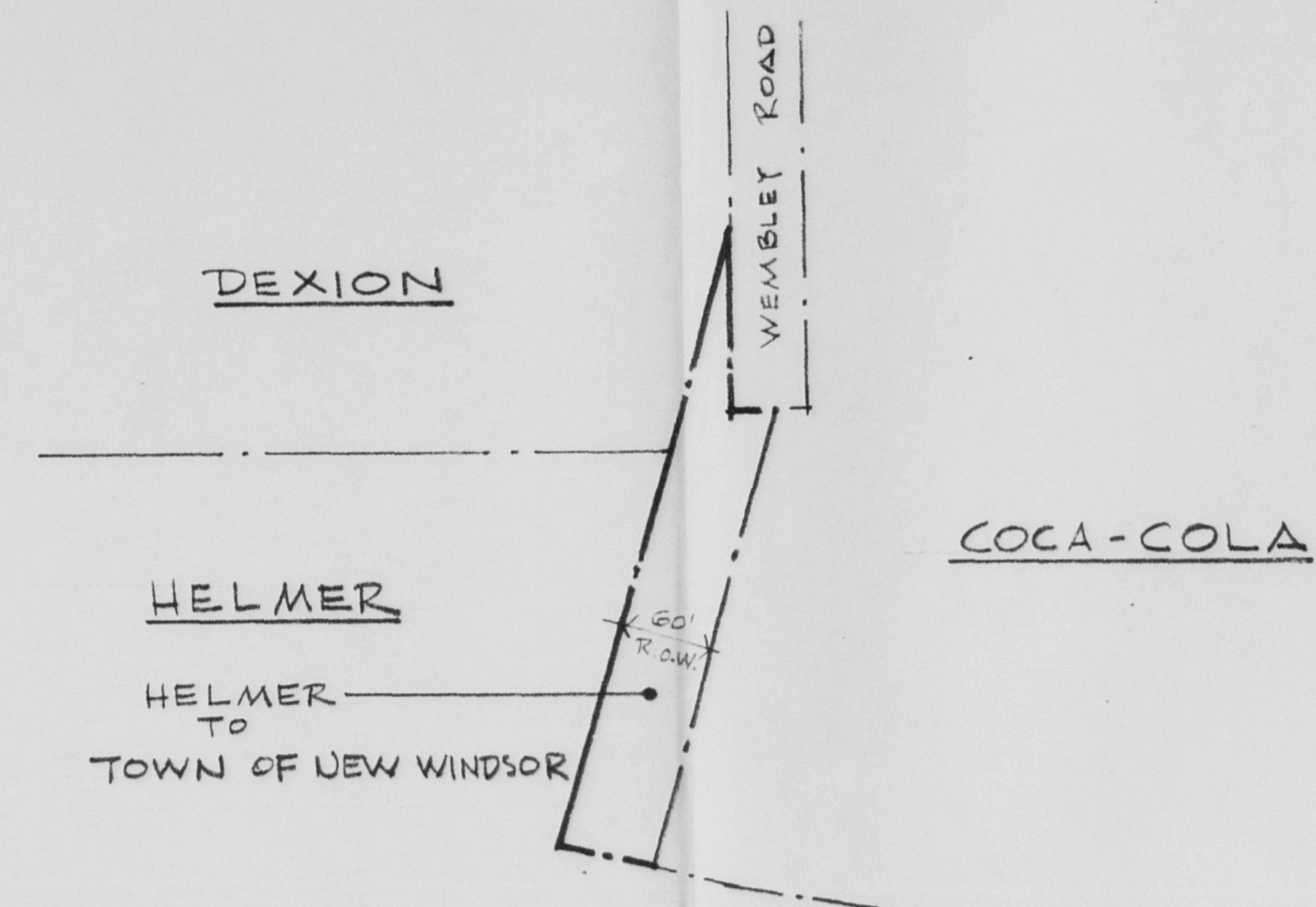




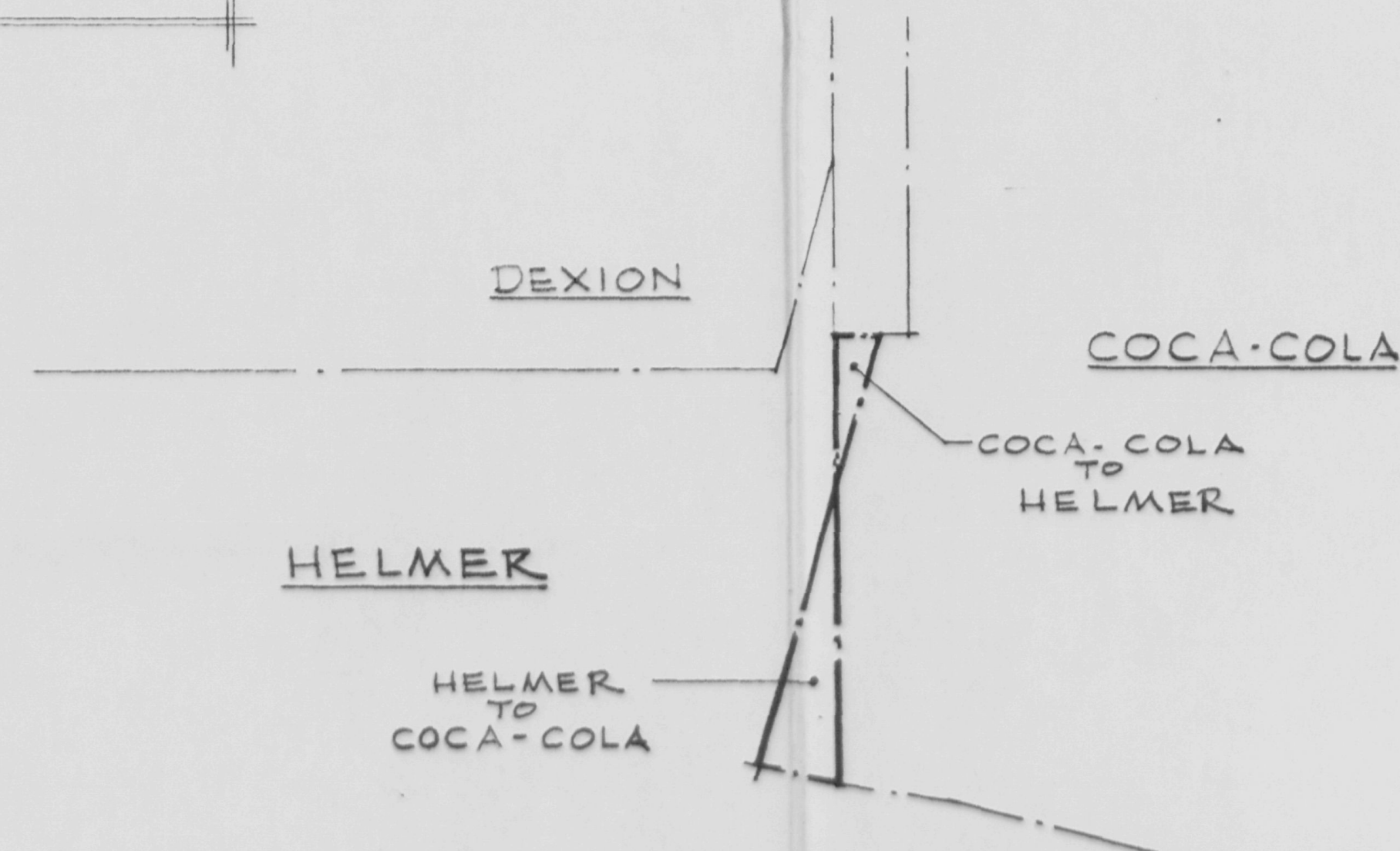
SKETCH (1) PART SITE PLAN  
1"=100'-0"

NOTE  
THIS DRAWING TO BE USED IN CONJUNCTION WITH DRAWING "LANDS OF WILLIAM HELMER" PREPARED BY KARTIGANER ASSOCIATES, P.C., AS REVISED AND DATED 18 APRIL 78.

LANDS OF WILLIAM F. HELMER  
GATEWAY INTERNATIONAL PARK  
• SUMMARY OF LANDS TO BE CONVEYED OR ACQUIRED BY WILLIAM F. HELMER TO OBTAIN A 60' RIGHT OF WAY TO WEMBLEY RD.



SKETCH (3) PART SITE PLAN  
1"=100'-0"



SKETCH (2) PART SITE PLAN  
1"=100'-0"





MAGNETIC: 1 FEB. 1977  
SCALE: 1"=100'

NOTE: TEMPLE HILL ROAD FROM ROUTE 207 TO UNION AVE. REVISED BY NYSDOT CONSTRUCTION SUBSEQUENT TO DATE OF PHOTOGRAPHY SHOWN IN NOTE #4.

# LEGEND:

- PROPERTY LINE
- PERMANENT UTILITY EASEMENT
- SEWER LINE & MANHOLE
- CONTOURS
- IRON PIPE
- STONEWALL
- PARCELS TO BE TRANSFERRED & ACQUIRED

54-B3-L2 & 3.2  
AREAS  
PARCEL I (ORIGINAL ACQUISITION) 65.03+ ACRES  
PARCEL II (TO BE CONVEYED) -2.37+ ACRES  
PARCEL III (TO BE ACQUIRED) +1.81+ ACRES  
TOTAL 64.47+ ACRES

# NOTES:

- 1) SURVEYED IN ACCORDANCE WITH DEEDS OF RECORD, A PROPERTY SEARCH FILE # 48-1831 PREPARED BY HOMESTEAD ABSTRACT CO. OF SPRING CO., INC. DATED 17 JULY 1975. MAPS LISTED BELOW:
  - (A) MAP 25 PARCEL 29 LANDS ACQUIRED FROM WILLIAM SLOAN FOR THE CONSTRUCTION OF THE WEST POINT MILITARY ACADEMY- STEWART FIELD PART I, HIGHWAY NO. 20-5548-4 DATED 21 AUG 1942 BY NYSDOP.
  - (B) LAND TO BE PROVIDED FOR NEWBURGH-CAMPBELL HALL CO. HIGHWAY #153 OBTAINED FROM A MICROFILM COPY.
  - (C) NYSDOP HIGHWAY ABANDONED TO THE TOWN OF NEW WINDSOR (PORTION OF NEWBURGH-CAMPBELL HALL 54-153 BETWEEN CENTERLINE STATION 14150+ & 100155+ & 102150+ & 107103) DATED DEC 11 1965.
- 2) ALSO BY PHYSICAL FEATURES FOUND AT THE TIME OF SURVEY.
- 3) PERMANENT UTILITY EASEMENT FROM MAPS LISTED BELOW:
  - (A) UTILITY EASEMENT IN LANDS NOW OR FORMERLY OF GLADYS SLOAN BRADY KATHA HARKES & WARDEN SLOAN JR. REC. 12 JUNE 1974 NEW WINDSOR 54-17-17 MAP#13 PREPARED BY KARTIGANER ENGINEERS.
  - (B) UTILITY EASEMENT IN LANDS NOW OR FORMERLY OF GLADYS SLOAN BRADY & KATHA HARKES REC. 12 JULY 1974 NEW WINDSOR 54-17-17 MAP#10 PREPARED BY KARTIGANER ENGINEERS; AND FROM PHYSICAL FEATURES FOUND AT TIME OF SURVEY.
- 4) TAY MAP INFORMATION FROM DEEDS CO. TAY MAP DEPARTMENT.
- 5) PLAN CONTINUES & TOPOGRAPHY TAKEN FROM MAPS PREPARED BY REPOKER SERVICES, INC. USING PHOTOGRAMMETRIC METHODS FROM PHOTOGRAPHY DATED DEC 1969.
- 6) CONTOUR INTERVAL TWO (2) FEET.
- 7) ELEVATION DATUM: USC (65).
- 8) SANITARY MANHOLE ELEVATIONS TAKEN FROM TOWN OF NEW WINDSOR SEWER DISTRICT #17 RECORD DRAWINGS, DATED 16 MAY 1975.
- 9) COPIES FROM THE ORIGINAL OF THIS SURVEY MAP NOT MARKED WITH AN ORIGINAL OF THE LAND SURVEYORS' INKED SEAL SHALL NOT BE CONSIDERED TO BE A VALID TRUE COPY.
- 10) FIELD SURVEY COMPLETED: 3 MAR 1977.

Certifications indicated hereon signify that this survey was prepared in accordance with the existing Code of Practice for Land Surveys adopted by the N.Y.S. Association of Professional Land Surveyors. Said certifications shall run only to the person for whom the survey is prepared, and on his behalf to the title company, governmental agency and lending institution listed hereon, and to the assignees of the lending institution. Certifications are not transferable to additional institutions or subsequent owners.

# CERTIFICATION:

I HEREBY CERTIFY TO THE TITLE GUARANTEE COMPANY AND WILLIAM HELMER THAT THIS PLAN RESULTED FROM AN ACTUAL FIELD SURVEY OF THE BOUNDARIES OF THE INDICATED PARCELS COMPLETED 3 MARCH 1977 AND THAT THIS PLAN IS A TRUE & ACCURATE REPRESENTATION OF THAT SURVEY.



LANDS OF  
**WILLIAM HELMER**  
TOWN OF NEW WINDSOR ORANGE CO. NEW YORK  
DRAWN: [Signature] SCALE: 1"=100'  
CHECKED: [Signature] DATE: 28 FEB. 1977

REV	DR.	CK.	DATE	DESCRIPTION
3	[Signature]	[Signature]	18 APRIL 78	REV. PARCEL III & TOTAL PROPERTY AREA; RE-LOCATED R.O.W. TO BE DEDICATED; ADDED R.O.W. AREAS & PARCEL TO BE ACQUIRED BY COCA-COLA.
2	[Signature]	[Signature]	15 SEP 1977	ADDED PARCEL II & III; REV. AREA PARCEL I, REV. LEGEND & TITLE BLOCK.
1	[Signature]	[Signature]	17 MAR 77	ADDED CERTIFICATION, NOTE NO. 9, ADDED TO LEGEND & ADDED PROPERTY LINE STAKEOUT INFORMATION.

**KARTIGANER ASSOCIATES, P.C.**  
CONSULTING ENGINEERS  
555 ROUTE 94 NEWBURGH NEW YORK 12550

BOUNDARY & TOPOGRAPHICAL MAP

SHEET: 1 OF 1  
JOB NO: S77-5

UNAUTHORIZED ALTERATION OR ADDITION TO THIS PLAN IS A VIOLATION OF SECTION 2207(2) OF THE NEW YORK ESTATE DECEDENT LAW.

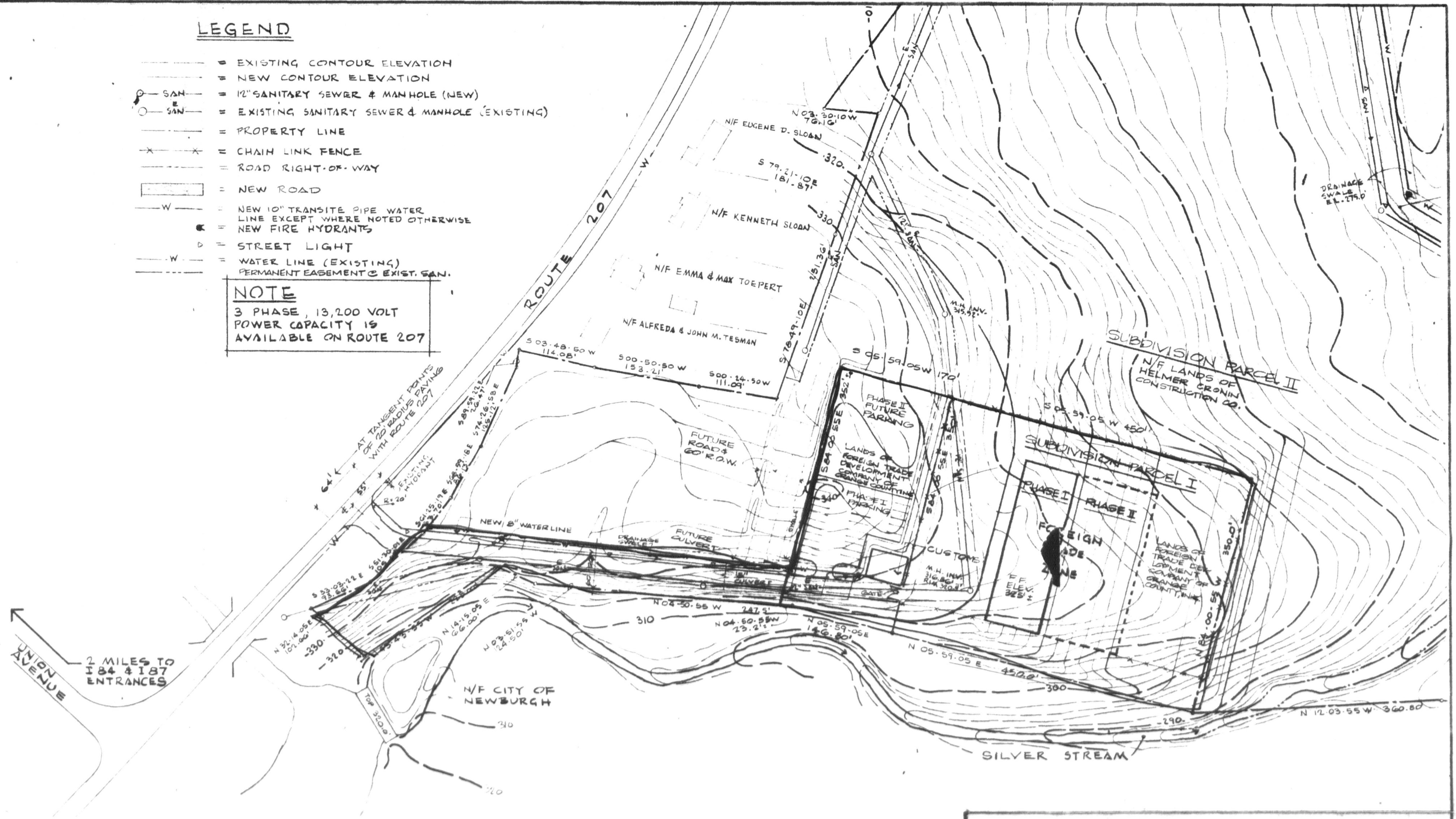


# LEGEND

- = EXISTING CONTOUR ELEVATION
- - - = NEW CONTOUR ELEVATION
- — SAN = 12" SANITARY SEWER & MANHOLE (NEW)
- — SAN = EXISTING SANITARY SEWER & MANHOLE (EXISTING)
- = PROPERTY LINE
- x - x - = CHAIN LINK FENCE
- - - = ROAD RIGHT-OF-WAY
- = NEW ROAD
- W — = NEW 10" TRANSITE PIPE WATER LINE EXCEPT WHERE NOTED OTHERWISE
- = NEW FIRE HYDRANTS
- = STREET LIGHT
- W — = WATER LINE (EXISTING)
- - - = PERMANENT EASEMENT & EXIST. SAN.

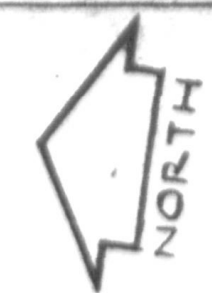
## NOTE

3 PHASE, 13,200 VOLT  
POWER CAPACITY IS  
AVAILABLE ON ROUTE 207



# GENERAL NOTES

1. ALL SURVEY INFORMATION WAS TRACED FROM "BOUNDARY & TOPOGRAPHICAL MAP" DATED 28 FEB. 1977, AS PREPARED BY KARTIGANER ASSOCIATES, P.C., NEWBURGH, N.Y., AND TITLED "LANDS TO BE ACQUIRED BY WILLIAM HELMER".
2. NEW SEWER TO BE TRANSITE PIPE, WITH TEE'S FOR EACH SUBDIVISION SITE.
3. NEW WATER LINE TO BE 10" TRANSITE, CLASS 200 PIPE OR DUCTILE IRON.
4. FIRE HYDRANTS SHALL BE MUELLER #107.
5. FENCES SHALL BE INSTALLED BETWEEN ADJACENT RESIDENTIAL LANDS & INDUSTRIAL PARK AS REQUIRED.
6. THE ENTRANCES TO THE SITE (S) THE INTERSECTIONS OF THE NEW ROAD & ROUTE 207 & TEMPLE HILL ROAD) SHALL BE 30' WIDE FOR A DISTANCE OF THE RADIUS PLUS 10'.



**WITFIELD & REMICK**  
architects

23 WILSON AVENUE  
NEWBURGH, NEW YORK  
(914) 591-9100 12250

REGISTERED ARCHITECT

DONALD A. WITFIELD

UNIVERSITY OF THE STATE OF NEW YORK

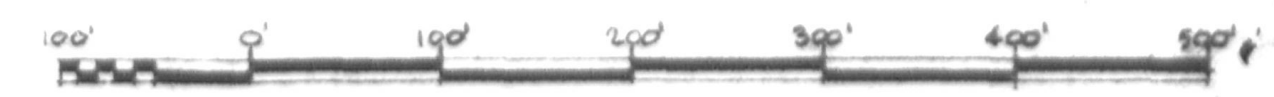
DATE: 11 MAY 1977

## GATEWAY INTERNATIONAL PARK

### FOREIGN TRADE ZONE — AREA 'B'

#### SITE PLAN

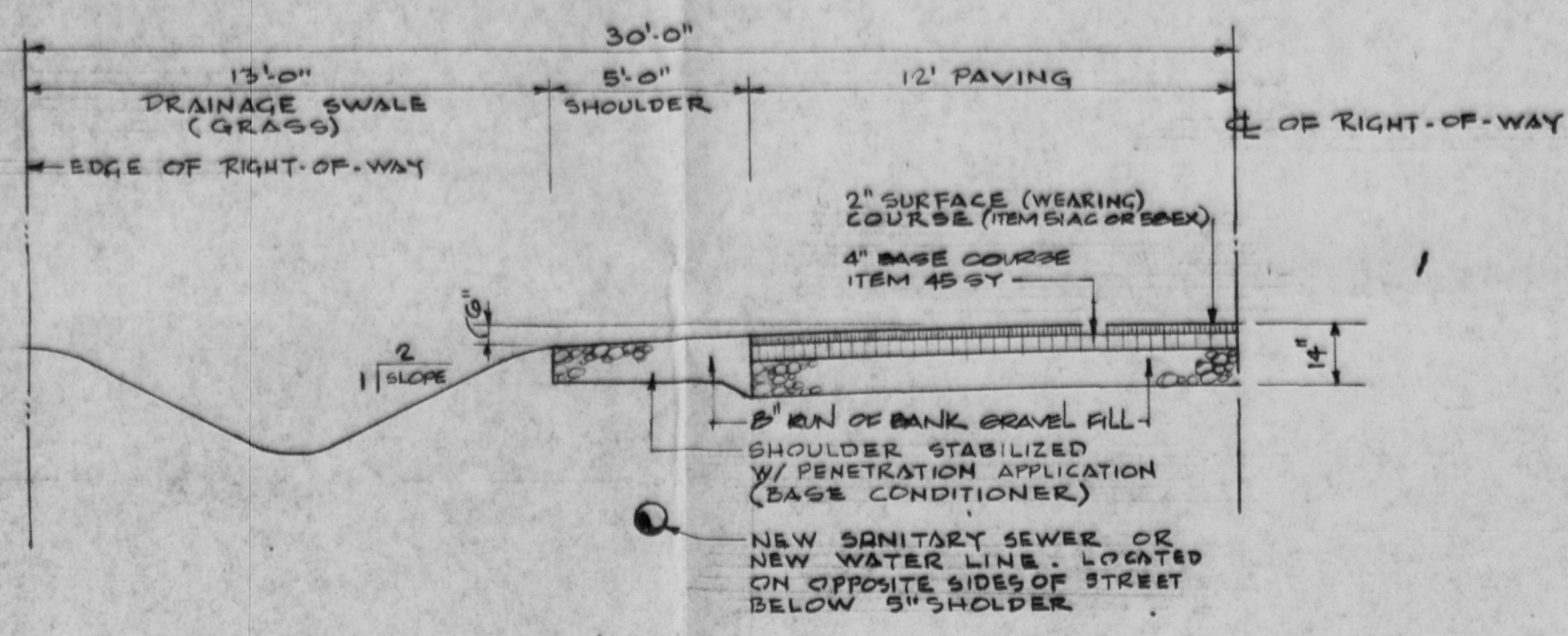
SCALE: 1" = 100'-0"



## SUBDIVISION PLAN

APPROVAL GRANTED  
BY TOWN OF NEW WINDSOR PLANNING BOARD  
ON May 11, 1977  
BY [Signature]



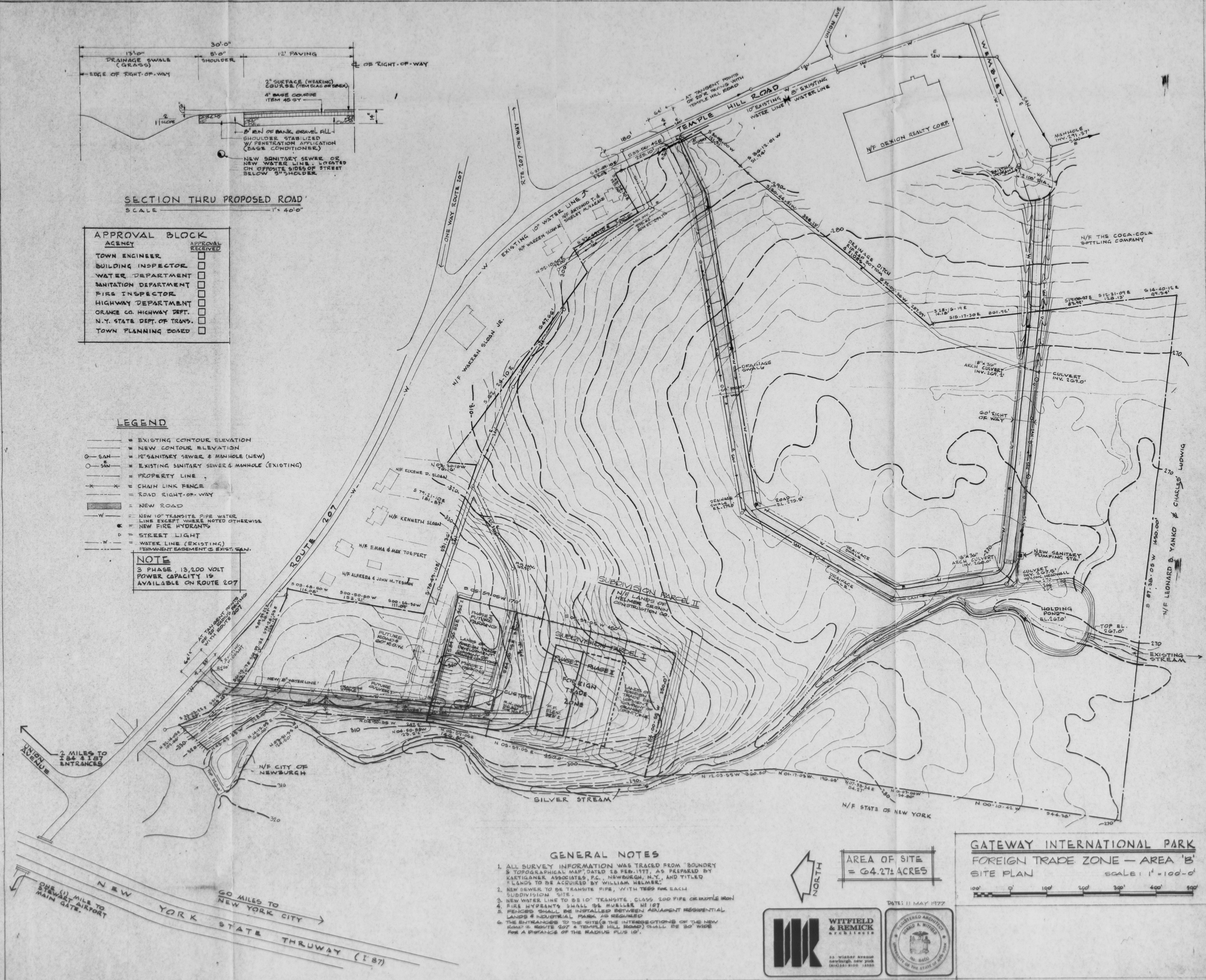


**APPROVAL BLOCK**

AGENCY	APPROVAL RECEIVED
TOWN ENGINEER	<input type="checkbox"/>
BUILDING INSPECTOR	<input type="checkbox"/>
WATER DEPARTMENT	<input type="checkbox"/>
SANITATION DEPARTMENT	<input type="checkbox"/>
FIRE INSPECTOR	<input type="checkbox"/>
HIGHWAY DEPARTMENT	<input type="checkbox"/>
ORANGE CO. HIGHWAY DEPT.	<input type="checkbox"/>
N.Y. STATE DEPT. OF TRANS.	<input type="checkbox"/>
TOWN PLANNING BOARD	<input type="checkbox"/>

- LEGEND**
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  - - - = NEW CONTOUR ELEVATION
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**NOTE**  
3 PHASE, 13,200 VOLT POWER CAPACITY IS AVAILABLE ON ROUTE 207

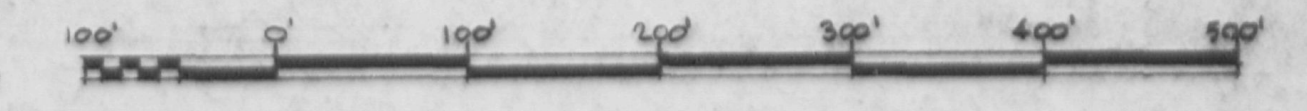


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- NEW SEWER TO BE TRANSITE PIPE, WITH TEES FOR EACH SUBDIVISION SITE.
- NEW WATER LINE TO BE 10" TRANSITE, CLASS 200 PIPE OR RUSTLE IRON.
- FIRE HYDRANTS SHALL BE MUELLER NR 127.
- FENCES SHALL BE INSTALLED BETWEEN ADJACENT RESIDENTIAL LANDS & INDUSTRIAL PARK AS REQUIRED.
- THE ENTRANCES TO THE SITE (S) THE INTERSECTIONS OF THE NEW ROAD & ROUTE 207 & TEMPLE HILL ROAD SHALL BE 20' WIDE FOR A DISTANCE OF THE RADIUS PLUS 10'.

**AREA OF SITE**  
= 64.27± ACRES

**GATEWAY INTERNATIONAL PARK**  
FOREIGN TRADE ZONE - AREA "B"  
SITE PLAN  
SCALE: 1" = 100'-0"



**WITFIELD & REMICK**  
ARCHITECTS

25 VICTOR AVENUE  
NEWBURGH, NEW YORK  
914/561-5100 14500

DATE: 11 MAY 1977

REGISTERED ARCHITECT  
STATE OF NEW YORK  
No. 8400

2 MILES TO I-84 & I-87 ENTRANCES

ONE (1) MILE TO STEWART AIRPORT

NEW YORK STATE THRUWAY (I-87)

60 MILES TO NEW YORK CITY